

EDGEMONT

EDGEMONT NORTH
GUIDELINES



TABLE OF CONTENTS

Directory	1
Community Vision	2
Architectural Theme	2
Architectural Style	2
House Size & Streetscapes	2
Site Planning & Grading	2
Driveways, Garages, Walkways	3
Front Drive Product.....	3
Rear Lane Product.....	4
Roof Massing & Materials	4
High Visibility & Walkout Lots.....	4
Repetition	4
Architectural Styles & Colours.....	5
Urbane	6
Scandinavian	7
Rustic Contemporary.....	8
Modern Farmhouse	9
Architectural Treatment of Entries	10
Accessories	10
Accessory Buildings	10
Solar Panels	10
Structured Wiring	10
Approval Process	10
Final Inspection & Security Deposit Return.....	11
Other.....	11
Appendix A: Multi-Family Development Requirements.....	12
Appendix B: High Visibility Requirements	16

DIRECTORY

Developer

Edgemont North Limited Partnership c/o
Brookfield Residential (Alberta) LP
204, 4212 Gateway Blvd NW
Edmonton, AB T6J 7K1
Phone: 780 423 1910

Planning/Engineering

Stantec Inc.
400, 10220-103 Ave NW
Edmonton, AB T5J 0K4
Phone: 780 917 7000

Geomatics

Pals Geomatics Corp.
10704-176 Street NW
Edmonton, AB T5S 1G7
Phone: 780 455 3177

Geotechnical/Testing

J.R. Paine & Associates Ltd.
2304 119 Ave NW
Edmonton, AB T6S 1B3
Phone: 780 489 0700

Architectural Applications

Brookfield Residential (Alberta) LP
204, 4212 Gateway Blvd NW
Edmonton, AB T6J 7K1
Phone: 780 423 1910

COMMUNITY VISION

Brookfield Residential's vision for Edgemont is to provide west Edmonton families with value rich homes that deliver stylish design, vivid exterior profiles, and master craftsmanship as a means of enhancing owner comfort, security, and personal satisfaction. Situated north of the Wedgewood Creek ravine, Edgemont will be an oasis for families who value quality time outdoors and will include several outdoor amenities including pathways and a playground.

The primary objective of these guidelines is to outline Brookfield Residential's vision for Edgemont North and the architectural theme that will contribute to achieving that vision.

ARCHITECTURAL THEME

The architectural character of Edgemont North will be established through a unique combination of modern architecture and rustic elements. The guidelines herein will not only outline the permitted architectural styles, they will direct the architectural elements, materials, and proportions that combined, will create a truly unique neighbourhood in west Edmonton.

ARCHITECTURAL STYLES

The permitted architectural styles include the Urbane, Scandinavian, Rustic Contemporary, and Modern Farmhouse. Rustic elements such as rough wood, siding with a wood grain pattern/texture, and/or stone are encouraged on all elevations to honor the natural surroundings.

HOUSE SIZE & STREETScape

Houses are to have a consistency of mass and volume within the streetscape. As such, the massing, width, size, and set back of the home must relate proportionately to the lot width and the neighboring houses. Adjustments to the building mass may be required on a lot-to-lot basis to enhance the home and ensure it blends with the streetscape. Homes that are more than 2' narrower than the building pocket will not be permitted.

SITE PLANNING & GRADING

Site planning and grading must accommodate the natural slope of the land with variations in grade absorbed within the building mass. The Purchaser shall be responsible for the design, construction and costs of any retaining structures and must ensure design grades and lot drainage are not compromised.

Homes along straightaways can maintain a 4.6m setback, while homes on pie lots must maintain a 5.6m setback.

A maximum of 12" of exposed paving will be permitted at all high visibility elevations. Exposed paving will not exceed 24" at all other elevations. Front entry steps on all housing types are to be a maximum of four risers per set. Where the grade or design calls for more than four risers, the run must be split.

DRIVEWAYS, GARAGES, WALKWAYS

Houses will be designed to integrate and minimize the appearance of the garage while emphasizing the architectural features and massing of the house itself. Some of the architectural measures that can achieve this are proportionate development of the second floor above the garage and an emphasis on entrance treatment. Adjustments to the garage or entry massing may be required on a lot-to-lot basis to enhance the home and ensure it blends with the streetscape.

Garage overhead doors will be appropriate to the design of the house – see architectural style detail descriptions.

Corners of overhead doors must be straight or curved. Angled corners will not be permitted. The overhead door must be painted to enhance the appearance of the home, often blending with the trim or main siding color. The height between garage overhead door and eave line should be less than 24". Where the design exceeds 24", special treatment is required.

Front driveways and walkways may be constructed of the following materials:

- concrete, broom finish
- stamped and colored concrete
- exposed aggregate concrete
- concrete pavers, colored

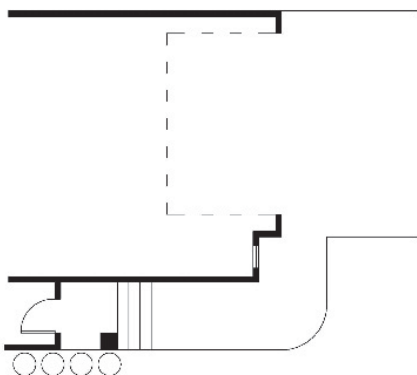
In all cases where colored concrete or pavers are used, the colors must be expressly approved at time of application.

The walkway to a house from the public sidewalk, curb or driveway must be at minimum, poured concrete in broom finish, minimum 2'-6" wide. Individual patio blocks will not be permitted.

Driveway is not to exceed the width of the garage to the garage front where the width may then flare to include a walkway to the front and/or rear yard.

Front Drive Product

Double attached, front drive garages are required, located in accordance with the garage location plan.



Oversized garages (23' or greater) will require articulation in the form of a jog with a separate roofline and a street facing window in addition to entry glazing and sidelights. The driveway will not exceed the width of the garage front.

Rear Lane Product

For the RPL product, a parking pad will be provided concurrent with house construction and the total width must be within 24" of the building pocket. The approach to the parking pad from the lane must be paved with asphalt or concrete. In the case that a lot does not allow for this size, an exception may be made during the approval process.

Detached garages should be consistent in style, finish, and color with the design of the house. Overhead doors for rear lane product will be white in colour, and may be standard design, raised panel.

It is not necessary to obtain architectural approval prior to constructing a detached garage.

ROOF MASSING & MATERIALS

The roof design will be specific to the architectural styling of the home – see architectural style detail descriptions. Unless otherwise stated, the fascia must be a minimum 6" wide. Cantilevers and box outs on visible elevations must include a separate roofline and minimum overhang. Skylights will be permitted provided they are flat in design and do not dominate the façade.

Approved roofing materials include a 3-tab asphalt shingle or architectural shingle in variegated earth tones. Reds, greens, blues, etc. are not permitted.

Metal roofs, if suitable to the elevation, may also be incorporated.

HIGH VISIBILITY & WALKOUT LOTS

Elevations in high visibility locations require special design consideration (see 'Appendix B').

All homes in high visibility areas are required to install a deck if the distance between the main floor and the final grade is greater than 48". Decks must be constructed concurrently with the home and must be fully finished with all vertical exposed surfaces painted to match the rest of the home. Deck railings will be aluminium, wood railings are not permitted.

A second floor balcony, if desired, must be included as part of the architectural application and must be constructed concurrently with the home by the builder.

See attached 'Appendix B' to view a comprehensive list of the rear deck requirements for decks in high visibility locations.

REPETITION

Similar or approximately identical elevations must not be repeated within three lots or directly across the street.

(XOAX)
(OXBO)

Repetitive use of elevations, architectural styles, and colour schemes will be monitored to ensure interesting and diverse streetscapes. The Architectural Controls group reserves the right to assign architectural styles to certain lots to ensure all architectural styles are equally represented within the streetscape. In addition, the usage of certain elevation styles will be monitored to ensure that a single style has not been used on more than fifty percent of the streetscape. Homes of the same architectural style will not be repeated on more than two lots in a row.

Modifications to elevation treatments may be required accordingly.

For the Semi-Detached and Townhouse Products, buildings will be designed to avoid an obvious mirror image of units. Variation in wall planes, rooflines, window groupings, and finishes are some of the architectural measures that can achieve distinction between units.

Adjustments to the setback and/or orientation of Rear Laned Homes may be required on a lot-to-lot basis to ensure variation and interest is presented on the streetscape.

At high visibility locations, the repetition guidelines apply to both front and rear elevations.

ARCHITECTURAL STYLES & COLOURS

The permitted architectural styles include the Urbane, Scandinavian, Rustic Contemporary, and Modern Farmhouse. Rustic elements such as rough wood, siding with a wood grain pattern/texture, and/or stone are encouraged on all elevations to honor the natural surroundings. Brick will not be permitted on any style. The detailing applied to each elevation will be sufficient to provide style distinction.

Overhead doors on front attached garages must be painted to blend with the home. Entry doors must appear to be fully painted but will reflect the style and personality of the home.

Black windows are required on any elevation deemed high visibility for the Scandinavian, Rustic Contemporary, and Modern Farmhouse styles.



Colors schemes are specific to the architectural style of the home and specific colour and material requirements are outlined on the following pages. All colors will be reviewed and approved on a lot-by-lot basis. Siding in Traditional or Bevel profile only will be utilized.

Horizontal siding and accent material colours will not be repeated on adjacent lots. Trim, soffit, and fascia color may be repeated on no more than two homes in a row. Streetscapes will be monitored for diversity and similar colors will not be repeated in a sequence of more than three lots. Identical (or approximately identical) colour schemes will not be repeated on adjacent lots.

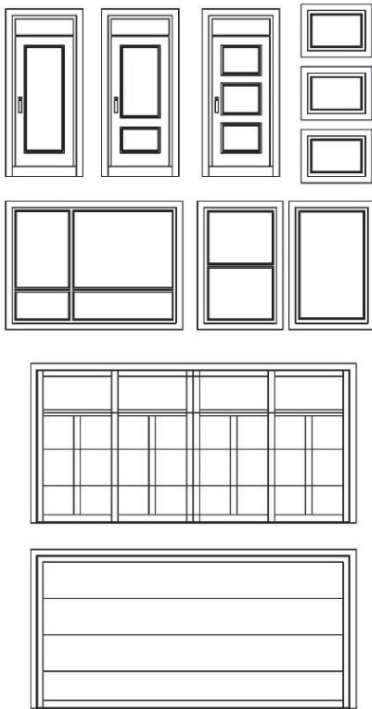


URBANE

A classic contemporary style inspired by the surrounding mid-western landscape, the Urbane home is characterized by its clean lines, low profile, and simple shape.

These elevations will feature a shallow hip roof (minimum 4/12 pitch), rows of windows, and bands of materials. Urbane homes are typically clad in a combination of horizontal siding, panel board, and stone. Wood siding and wood accents such as brackets, columns, and beams are well suited and highly encouraged. Black windows are encouraged but not required.

Rich, dark colours are well suited to this style and as such, all vinyl siding on the Urbane style home will be Premium Selection. A cream coloured horizontal siding such as Bone or Linen may be permitted sporadically throughout the community but usage is subject to approval by the Architectural Controls group. These elevations are typically monochromatic while the soffits, fascia, and trims will either contrast against or complement the main siding materials.





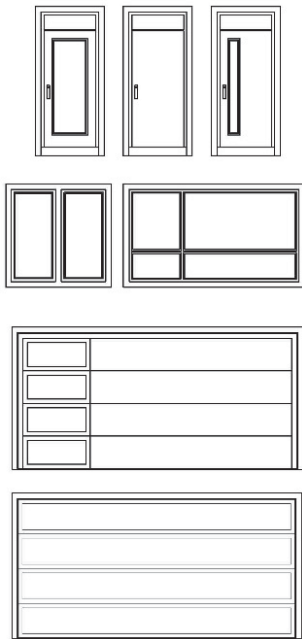
SCANDINAVIAN

The Scandinavian home pairs a dramatic, yet simple form with natural materials and a blend of texture; a combination that will truly elevate the streetscape.

Gabled rooflines (minimum 6/12 pitch) with minimal overhangs will extend down to surround and enclose the predominately flat façade. Oversized windows are well suited and will remain uncluttered by window grilles. Window frames on all high visibility elevations must be black in colour.

Scandinavian homes feature a unique combination of varying textures and natural materials. Accent walls clad in wood or wood-like siding are required in combination with horizontal siding, board & batten, and/or panel board. Stone may be utilized in lieu of wood if deemed appropriate by the Architectural Controls group.

Monochromatic siding and trim combinations are well suited but contrasting schemes and colour blocking create a modern edge, enhancing the overall streetscape. All vinyl siding must be neutral in colour (whites, creams, greys, or browns). Window and door trims, if used, should either match the adjacent frame or blend with the adjacent siding materials.





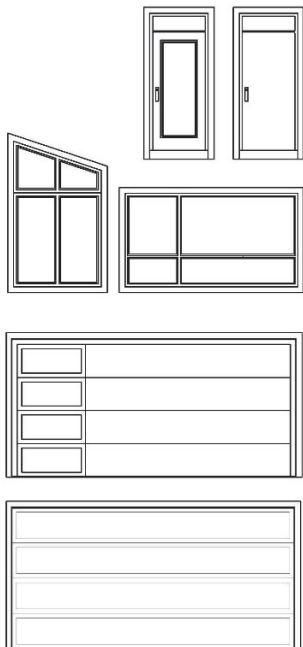
RUSTIC CONTEMPORARY

Inspired by the beauty of the Rocky Mountains, the Rustic Contemporary elevation balances modern simplicity and clean lines with the warmth of natural materials.

These homes will be defined by a striking roof line composed of one or more shallow intersecting shed roofs. All front facing shed roof lines will include a wide fascia (8" or more). Rustic elements such as stone, wood siding, and wood accents such as brackets, columns, and beams are well suited and highly encouraged.

Oversized windows will dominate the façade and are typically uncluttered by window grilles. Rake windows are also well suited as they accentuate the unique rooflines. Window frames and grilles on all high visibility elevations must be black in colour.

Rich, dark, earth tones are well suited to this style and as such, all horizontal vinyl siding will be Premium Selection. Accent materials such as board & batten and fiber cement panel may also be used in complimentary or contrasting colours while trims will be very dark or blend with the adjacent siding materials. Soffits & fascia are typically darker in colour, but mid-tones will be permitted if deemed appropriate.





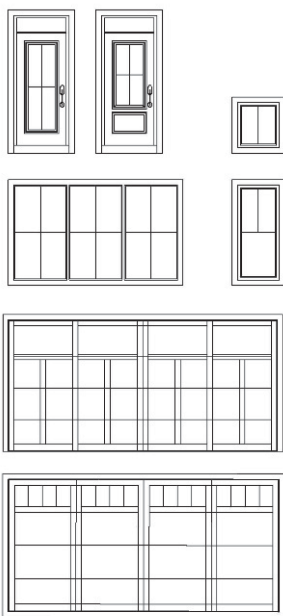
MODERN FARMHOUSE

The Modern Farmhouse combines the sleek clean lines of contemporary design with the cozy farmhouse aesthetic to create a uniquely fresh take on the traditional country home. Known for its warmth and simplicity, the Modern Farmhouse is characterized by steep front facing gables, a restrained color palette, and a combination of textures.

These homes feature flat façades while steep (minimum 9/12) front facing gables dominate the roofline. Roof overhangs will be minimal and may even be reduced to none. Windows will be vertical in orientation and should incorporate a simple grill style. Square windows are well suited as accents on smaller walls. Window frames and grilles on all high visibility elevations must be black in colour.

A combination of textures will create interest on the otherwise simple elevation. Horizontal siding and board & batten will primarily be used on the front façade. Stone, rough wood brackets/columns, and metal accent roofs are highly encouraged to add character to these elevations.

The Modern Farmhouse typically features a monochromatic blend of materials, but colour blocking may be permitted if deemed appropriate. Trims, soffits, and fascia will either blend with or contrast against the main siding colours.



ARCHITECTURAL TREATMENT OF ENTRIES

Entranceways will be covered at the first level and create a welcome sense of arrival at each home.

The base of wood verandas/porches will be enclosed to grade. Verandas and porches (including all stair risers and stringers) must be painted to blend with the home, only the landing and treads at the veranda/porch may be left in a natural state. Railings will be aluminum, wood is not permitted.

ACCESSORIES

Accessory Buildings

Where visible from a public adjacency, accessory buildings must be consistent in style, finish, and color with the house.

Solar Panels

Solar panels may be installed provided the panel and frame color blend with the shingle color. Solar panels must be operational in a flat mount position.

STRUCTURED WIRING

As of January 1, 2015, there are no structured wiring requirements.

APPROVAL PROCESS

All applications must be submitted through the Brookfield online LMS system and must include the following information:

- Color Sheet
- Elevations and Floor Plans at 1/4:1' or 3/16:1' scale
- Plot Plan prepared by Designated Surveyor at 1:300 scale
- Pre-Inspection Report
- Color or material sample (if requested)

These submissions must be made ten days in advance of the desired construction start date. It is not the purpose of this process to check for compliance with applicable governing statutes and requirements. Incomplete submissions may be returned without review. The application and plans will be reviewed for adherence to the guidelines. Modifications may be requested. Any changes to approved plans must be approved in writing prior to implementation.

FINAL INSPECTION AND SECURITY DEPOSIT RETURN

Option 1: Builder completes landscape (all product types).

1. Landscaping is rolled into the price of the home; therefore, a deposit is not required.
2. Landscape is completed by builder and the builder is responsible for getting final grading approval.
3. Once the landscape is complete and the City has approved the final grade, the builder would notify Brookfield's Architectural Controls department that the home is ready for its final inspection. A copy of the final grading approval and the final grading certificate will be required as part of the final inspection approval.
4. The Architectural Controls group will inspect the home and completed landscape.
5. If deficiencies are noted, the Architectural Controls group will re-inspect the lot a second time about a month after the initial inspection. If the deficiencies have not been corrected all inspections will cease unless the builder submits a re-inspection request.
6. At the completion of each stage, Brookfield will review the outstanding deficiencies and respond accordingly.

Option 2: Homeowner completes the landscape (all product types).

1. The homeowner provides the builder with a landscaping deposit at the time of purchase.
2. The landscaping and fencing (if desired) is completed by the homeowner. The homeowner is responsible for getting final grading approval.
3. Once the landscape is complete and the City has approved the final grade, the homeowner would submit a final inspection request to their builder, who will then notify Brookfield's Architectural Controls group that the home is ready for its final inspection. A copy of the final grading approval and the final grading certificate will be required as part of the final inspection approval.
4. The Architectural Controls group will inspect the home and completed landscape. The results of the inspection will be communicated to the builder who will then notify the homeowner whether the inspection passed or failed.
5. If deficiencies are noted, the Architectural Controls group will not re-inspect the lot until the homeowner requests a re-inspection. Any applicable deposits taken from the homeowner at the time of purchase shall not be released back to the homeowner until Brookfield confirms total compliance with the approved building plans and community guidelines.

OTHER

Homeowners are responsible for the installation of permanent address numbers or plaque, to be affixed at time of final/landscaping inspection.

No sale is to be represented as final to a prospective purchaser until the final approval of the plans, elevations, lot siting and color scheme has been granted. The home builder shall be fully responsible for such representations.

The information contained herein is intended as a guide. Brookfield Residential shall not have any liability whatsoever for any defect or lack of suitability in any of the materials or products suggested by or required by these guidelines. Brookfield Residential makes no representation or warranties as to the accuracy or completeness of this information. The enforcement of these guidelines and interpretation of same shall be at the sole discretion of Brookfield Residential. Brookfield Residential reserves the right to revise these guidelines without notice or precedent.

APPENDIX A: MULTI-FAMILY DEVELOPMENT REQUIREMENTS

To be referenced in conjunction with the complete Architectural Guidelines for Edgemont.

AC APPLICATIONS

All multi-family developments should be submitted to Brookfield Residential for Architectural Approval prior to development permit application with the City of Edmonton. Each project will be reviewed on an individual basis at the discretion of Brookfield's Architectural Control Department.

AC applications for fee simple street towns shall be submitted through Brookfield's online Lot Management System. This will include plot plans, floor plans, elevations and color sheets. Colored renderings may be requested on an as needed basis. Landscaping Plans will also be required if minimal sod and larger planting beds are used (see Landscaping Requirements).

AC applications for any condominium projects (townhomes or apartment-style) shall include the following:

- Site Plan complete with dimensions
- Landscaping Plan (including any fencing and project sign details)
- Floor Plans complete with dimensions
- Elevations complete with all material/color specifications, building heights and any roof slopes identified
- Details of any accessory buildings including all material/color specifications (ie: garbage sheds, amenity buildings, etc.)
- Colored elevations/renderings including an overall streetscape view
- Material/Finish Board (as required)

ARCHITECTURAL STYLE/OVERALL DESIGN

All multi-family projects in Edgemont North should be designed to naturally blend in with the setting of the community. Unless otherwise stated, the overall design should follow the architectural guidelines set forth for single family products in Edgemont North. All designs must also adhere to the requirements of the chosen architectural style(s) for the community (Urbane, Scandinavian, Rustic Contemporary, and Modern Farmhouse).

REPETITION

Multi-family projects will be reviewed on an individual basis to avoid a dominance of one architectural style within the streetscape. Fee Simple street towns will be reviewed for repetition on neighboring lots as set forth in the architectural guidelines for Single Family and Semi-D product types.

HIGH VISIBILITY CONSIDERATIONS

Any building facades of multi-family projects that are facing streets or public spaces will require special design consideration. This includes, but is not limited to, changes in wall planes, varying rooflines, appropriate openings in relation to wall areas, avoidance of mirror imaging and exceptional detailing specific to the chosen architectural style. See 'Appendix B' for more information on the high visibility requirements for Edgemont North.

LANDSCAPING REQUIREMENTS

The landscaping requirements listed below should also be referenced along with the Edgemont Landscaping Requirements.

Fee Simple Street Towns

The minimum front yard landscape shall consist of the following:

- One deciduous tree 2" (50mm) caliper or larger per dwelling unit. If a coniferous tree is used instead, it must be 8.2' (2.5m) or higher at the time of planting. Tree species recommended: Crabapple Trees, Japanese Tree Lilac, Ussurian Pear, Amur Maple, Toba Hawthorn, Snowbird Hawthorn, Pincherry, Amur Cherry, and Snowy Mountain Ash.
- Each dwelling unit shall have a minimum of 6 shrubs of any variety (at least 18" in height or width) in a planting bed defined by edging (landscaping vinyl, brick, concrete, wood landscape ties, etc.). Shrub species recommended: Lilac, Viburnum, Hydrangea, Caragana, Spirea.

Fee Simple Street Towns – Middle Units

Brookfield Residential does not require middle units to have sod, but instead must have one shrub for each 30 square feet of prepared planting bed. A perennial flower bed may be used instead. Perennial beds must be a minimum of 45 square feet and shall be defined by edging. 5 perennials can be substituted for the equivalent of one shrub.

Fee Simple Street Towns – End Units

End units shall have sod within their front yard and shall continue this treatment to wrap the side yard of the building to supplement the prepared planting beds.

An adequate variety of plants should be used in planting beds to achieve diversity and avoid large planting beds with an abundance of the same plant.

Should any planting beds be larger than 60 square feet, landscape plans must be submitted to Brookfield Residential for approval prior to construction.

Appropriate materials for planting beds include Pine Mulch, Shredded Wood Chip Mulch, Small Bark Chip Mulch, Medium Bark Chip Mulch, Large Bark Chip Mulch and Rock Mulch up to a maximum 3" diameter.

Condominium Projects (Townhomes or Apartment-style)

All street facing yards must consist of a mixture of planting beds and sod. Tree and Shrub counts shall meet or exceed the City of Edmonton minimum Landscaping Requirements.

Appropriate materials for planting beds include Pine Mulch, Shredded Wood Chip Mulch, Small Bark Chip Mulch, Medium Bark Chip Mulch, Large Bark Chip Mulch and Rock Mulch up to a maximum 3" diameter.

Additional landscape screening is required when development is adjacent to single family dwelling units.

All deciduous trees must be 2" (50mm) caliper or larger at the time of planting. All coniferous trees must be 8.2' (2.5m) or higher at the time of planting.

All shrubs must be a minimum 18" in height of width at the time of planting.

One parking island (min. 200 sq.ft.) is required for every 13 stalls in large open parking areas. Parking area landscape requirements shall consist of 1 tree for each 200 square feet of parking area islands and 1 shrub for each 100 square feet of parking area islands. All planting islands shall have a minimum 1 deciduous tree 2" (50mm) caliper or larger or a coniferous tree 8.2' (2.5m) height or higher.

See 'Edgemont's Landscaping Guidelines' for more information on what is considered appropriate landscaping in Edgemont.

CITY OF EDMONTON LANDSCAPING REQUIREMENTS

On June 27, 2016, the City of Edmonton council passed a text amendment that modified the Landscaping Requirements for residential properties.

Please note that the Landscaping Requirements listed in this 'Appendix A' will count towards the new City of Edmonton requirements, however, depending on the size of your lot you may have to provide additional trees and/or shrubs on your property to meet the City's requirements.

It is the responsibility of the homeowner to ensure their landscaping complies with the City of Edmonton requirements.

Current information regarding these requirements can be found on the City of Edmonton website www.edmonton.ca

Should you have additional questions, please contact the City of Edmonton directly by dialing 311 from the local calling area.

FENCING

Fencing must be in a consistent style and color as the community fencing. Further specifications and details can be found in the 'Edgemont's Landscaping Requirements'.

SIGNAGE

Condominium projects must have site signage at the property entrance that is designed consistent with the overall building design.

RETURNING SECURITY DEPOSITS

Once construction and landscaping are complete, please notify Brookfield's AC Department to request a final inspection. Once it has been determined that the construction meets the approved plans, security deposits will be returned to the builder.

Please note final inspections will only be completed during the "growing" season in Edmonton. The cut-off date for new inspection requests is September 15th.

APPENDIX B: HIGH VISIBILITY REQUIREMENTS (REAR & CORNER ELEVATIONS)

To be referenced in conjunction with the complete Architectural Guidelines for Edgemont North.

HIGH VISIBILITY – ALL LOTS

- All homes on high visibility lots are required to install a deck if the distance between the main floor and the final grade at the rear of the home is greater than 48". Deck railings will be aluminum, wood is not permitted.
- Decks must be fully painted in a color that is consistent with the home. Deck rim boards (fascia), posts/columns, exposed beams, and stair stringers and risers (if applicable) are considered part of the deck and must be finished accordingly.
- Columns supporting decks greater than 4'-0" above grade shall be built out to a minimum finished dimension of 12"x12" using a material complimentary to the finish of the home. Alternate column sizes may be considered if the proposed alternative is appropriate for the elevation.
- A second floor balcony, if desired, must be included as part of the architectural application and must be constructed concurrently with the home by the builder.

REAR ELEVATIONS

Full Treatment – Houses backing onto parks, ponds, and located along an arterial road close to the community entrance.

Requirements:

- Accent detailing consistent with the front elevation.
- Trim consistent with the front elevation around all openings.
- Variation in wall planes and/or appropriate massing and wall heights. Second floor cantilevers and bump outs should be anchored with a roof line.
- Strategically placed openings that proportionately fit the wall space and visually break up the massing.
- Substantial roof line between the 1st and 2nd floor to diminish mass.
- Duplex and townhomes require unit distinction and avoidance of mirror imaging.
- Lots designated for a walkout basement model require special design consideration at the rear elevation. In addition to addressing features set out for high visibility, these designs must avoid towering three storey presentation. Decks must be constructed concurrently and painted or stained to blend with the exterior.



Moderate Treatment – Lots backing onto power lines, school sites, utility corridors, greenways, and located along an arterial road but further away from a community entrance.

Requirements:



- Some accent detailing consistent with the front elevation.
- Trim consistent with the front elevation around all openings.
- Variation in wall plane and strategically placed openings to visually break up massing and prevent too much blank wall space. Second floor cantilevers and bump outs should be anchored with a roofline.
- Duplex and townhomes require unit distinction and avoidance of mirror imaging.
- Lots designated for a walkout basement model require special design consideration at the rear elevation. In addition to addressing features set out for high visibility, these designs must avoid towering three storey presentation. Decks must be constructed concurrently and painted or stained to blend with the exterior.

Minimal Treatment – Lots where the rear elevation would be visible to the public but isn't directly facing an area that requires full or moderate treatment. This would typically apply to homes that also require additional treatment on the corner.

Requirements:



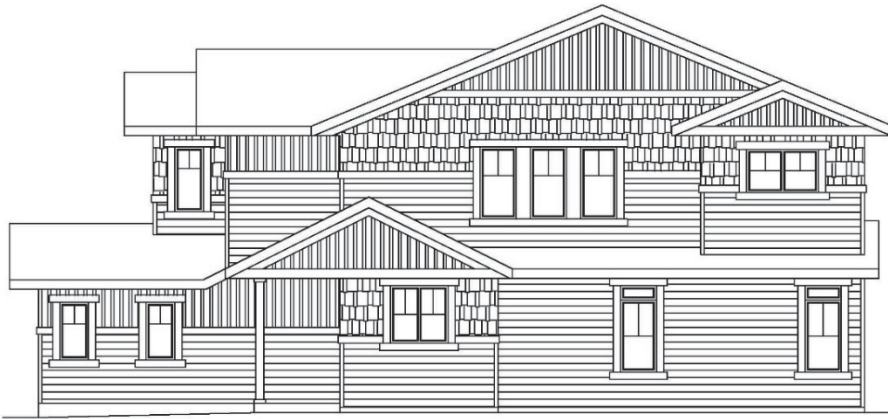
- Trim consistent with the front elevation around all openings.
- Lots designated for a walkout basement model require special design consideration at the rear elevation. In addition to addressing features set out for high visibility, these designs must avoid towering three storey presentation. Decks must be constructed concurrently and painted or stained to blend with the exterior.

CORNER ELEVATIONS

Full Treatment - Houses with corners adjacent to parks and/or public roadways.

Requirements:

- Accent detailing consistent with the front elevation.
- Trim consistent with the front elevation around all openings.
- Variation in wall planes at each floor level and/or appropriate massing and wall heights. Second floor cantilevers and bump outs should be anchored with a roofline.
- Strategically placed openings that proportionately fit the wall space and visibly break up the massing.
- Substantial roofline between the 1st and 2nd floor to diminish mass.



Minimal Treatment - Houses with corners adjacent to parks and/or public roadways.

Requirements:

- Trim consistent with the front elevation around all openings.

