



THE ORCHARDS

Multi-Family

Architectural Guidelines

2025

No sale shall be presented as final to a prospective purchaser until the final approval of the plans, elevations, lot siting, and colour scheme has been given by Brookfield Residential. The purchaser shall be fully and solely responsible for such representations.

The information contained herein is intended as a guide for the initial development of each of the properties in the community. Brookfield Residential shall not have any liability whatsoever for any defect or lack of suitability in any of the materials or products suggested by or required by these guidelines. Brookfield Residential makes no representation or warranties as to the accuracy or completeness of this information. The enforcement of these guidelines and interpretation of same shall be at the sole discretion of Brookfield Residential. Brookfield Residential reserves the right to revise these guidelines without notice.



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Geotechnical/Testing

J.R. Paine & Associates Ltd.

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Architectural Applications

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Community Vision

The true beauty of The Orchards unfolds through its thoughtfully designed details that create a genuine sense of home. Lush, fragrant fruit trees blossom throughout the community, cultivating a warm and inviting atmosphere. The exclusive amenities within the Residents' Association Clubhouse enhance the vision, offering diverse activities and versatile spaces for rent, perfect for any occasion. Together, these elements cultivate a vibrant, connected community where residents can come together and thrive.

Architectural Submission Process

All multi-family developments should be submitted to Brookfield Residential for Architectural Approval prior to development permit application with the City of Edmonton. Each project will be reviewed on an individual basis at the discretion of Brookfield's Architectural Controls Department. Coloured renderings may be requested on an as needed basis. Landscaping and site plans will also be required.

Architectural applications for any multi-family project shall include the following:

- Site Plan complete with dimensions
- Floor Plans complete with dimensions
- Elevations complete with all material/colour specifications, building heights and any roof slopes identified
- Details of any accessory buildings including all material/colour specifications (ie: garbage sheds, amenity buildings, etc.)
- Coloured elevations/renderings including an overall streetscape view
- Material/Finish Board (if requested)

Once Brookfield Residential has agreed on a preliminary design proposal, the Purchaser may make a submission for a Development Permit at the municipal level. Any required changes must be brought to the attention of Brookfield Residential.

The second stage of the process requires submission of final drawings and information as follows:

- Site plan identifying all properties, topographic features, access, etc.
- A key plan with north arrow indicating exact location of site.
- All bearings and dimensions of the site.
- Location, set backs and dimensions of all buildings and structures.
- Locations and dimensions of all off-street parking and loading facilities, including driveways, entrances, exits, paved areas, curbs and circulation pattern.
- Location of proposed signage.
- Landscaping Plan which includes the types of trees/shrubs to be installed, fencing locations, and proposed signage locations.

It's not the purpose of this process to check for compliance with applicable governing statutes and requirements. Incomplete submissions may be returned without review. The application and plans will be reviewed for adherence to the guidelines. Modifications may be requested. Any changes to the approved plans must be approved by Brookfield prior to implementation.



Returning Security Deposits

Once construction and landscaping is complete, the purchaser is responsible for requesting a final inspection. Inspection requests can be submitted via email to Brookfield Residential's Architectural Controls department. Once it has been determined that the construction meets the approved plans, security deposits will be returned to the builder.

Please note final inspections will only be completed during the "growing" season in Edmonton. The cut-off date for new inspection requests is September 15th.

Architectural Theme

All multi-family projects in The Orchards should be designed to naturally blend in with lush and inviting atmosphere of the community. All designs must reflect one of the established architectural styles for the community (Modern Farmhouse, Rustic Contemporary, Heritage, and Prairie). Detailing will be sufficient to provide style distinction.

A summary of each architectural style and inspirational images can be found in the **Appendix A: Architectural Styles** at the back of these guidelines.

Repetition

Where multi-family sites are situated amongst other multi-family and commercial sites, builders are required to utilize an architectural style that's not yet been represented within the surrounding sites.

High Visibility Considerations

Any building facades of multi-family projects that are facing streets or public spaces will require special design consideration. This includes, but is not limited to, articulation in massing through changes in wall planes, varying rooflines, appropriate openings in relation to wall areas, avoidance of mirror imaging and additional detailing specific to the chosen architectural style.

Parking Requirements

Where possible, parking areas should not be located between a frontage street and the building. Parking located between a public roadway or adjacent site and a building shall be screened from view using berms and landscaping. See Site & Landscaping Requirements for more information.

Mechanical & Roof Mounted Equipment

Roof mounted mechanical equipment and/or ductwork shall be in areas which are not visually prominent and/or screened to minimize visibility from the street or surrounding buildings. Such equipment shall be painted or pre-finished consistent with the color scheme of the building.

Incinerator vents shall not be located facing a public street or public amenity. Roof mounted ventilators shall be a maximum of .46m above the roof, and are to be painted or pre-finished, consistent with the color scheme of the building. Gutters and downspouts shall match the colour of the surface to which they are attached. Vents, louvres, flashing, tanks, stacks, overhead doors, and rolling and service doors are to be painted consistent with the color scheme approved for the building.



Transformers, storage tanks and other outdoor mechanical systems or equipment, as well as other items of poor visual quality are to be screened by the use of masonry walls in approved finish, fencing, or mature and dense landscaping materials.

Solar panels may be installed provided the panel and frame colour blend with the shingle colour. Solar panels must be operational in a flat mount position.

Site Lighting

The use of low level and ground level lighting is strongly encouraged. Outdoor lighting shall be located and arranged to eliminate direct rays of light focused at any adjoining property.

Security lighting fixtures shall be located below the fascia line or roof line of a building and are to be architecturally shielded from view. Security lighting fixtures are not to be substituted for parking lot or walkway fixtures and are to be restricted to loading and similar service areas.

Accessories

Accessory buildings are subject to the same requirements as the principal building(s) on site. Exterior materials of an accessory building shall be the same as the principal building or buildings on site.

A trash collection area or an outdoor service area which is visible from an adjoining site or public adjacency shall be shielded from view through planting or fencing.

Signage

All projects must have site signage at the property entrance that is designed consistent with the overall building design.

All site signage must be included as part of the architectural application and is subject to approval by Brookfield Residential.

If utilized on the exterior façade, address plaques must be consistent with the Standard Orchards Neighborhood plaque.

Maintenance Of Site

No building, building site or other improvement shall be permitted to fall into disrepair, and each improvement shall at all times be kept in good condition and repair, and adequately finished in accordance with the specifications established.

The owner of the property, or his successor, or assignees, shall be responsible for the proper maintenance of the landscaping. All plantings are to be kept in a healthy, trimmed and growing condition. Watering, fertilization, cultivation and tree pruning shall be considered part of regular maintenance.



Site & Landscaping Requirements

Lot Grading

Lot grading must be in strict conformance with the approved grading plans. Variations should be absorbed within the building mass to minimize steep slopes and contrast between the site and surrounding lots and amenities. Parging will not exceed 24" on all buildings and additional structures.

Retaining Walls

Retaining walls are the responsibility of the purchaser and must not compromise the grading design and lot drainage.

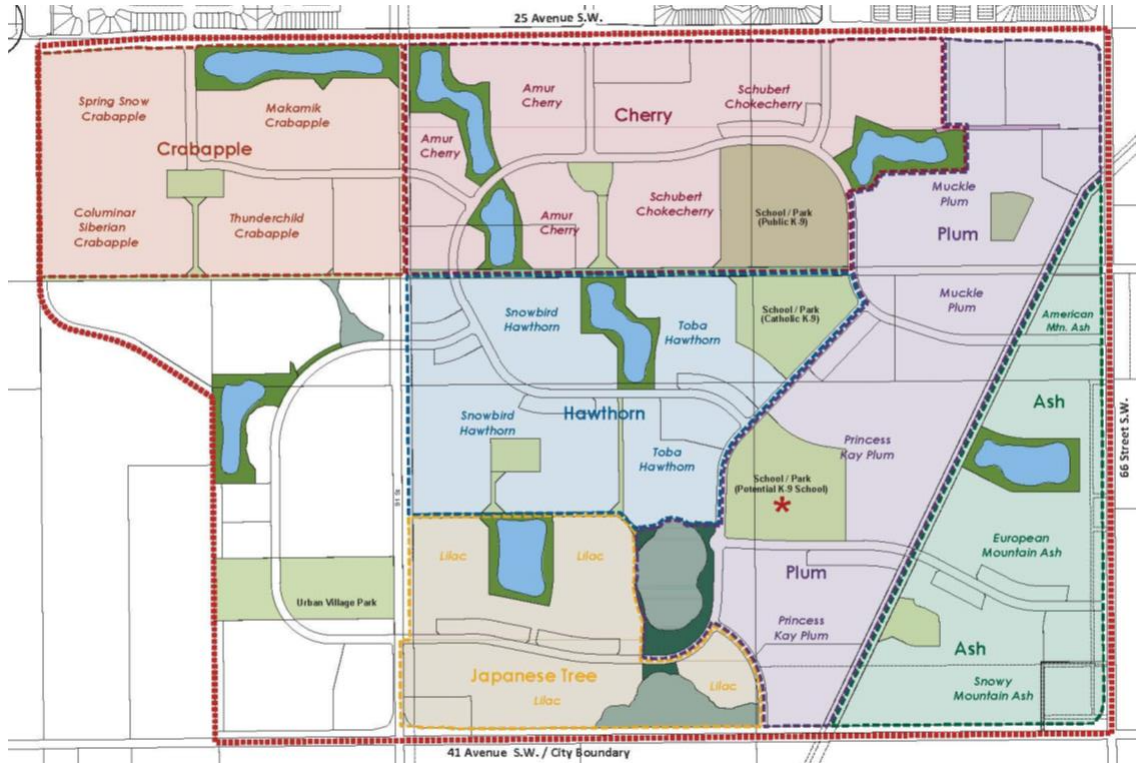
Landscaping Expectations

Landscaping will be a key component of the overall site design, shaping circulation, creating buffers between adjacent properties, screening unattractive views, and acting as a transition between sites. To enhance the aesthetic appeal, multi-family properties in The Orchards are required to incorporate tree species that align with the community's orchard theme, as shown on the map on the following page.

Amenity areas are encouraged to serve as space for active or passive recreation and enjoyment of building occupants. A pedestrian circulation system is also encouraged to integrate areas of the site with connecting walkways through landscaped areas.

Landscaping plans will be required for undeveloped areas and must incorporate provision for erosion control on all graded sites which will remain vacant for six months or more. Undeveloped areas shall be maintained in a weed-free condition, and leveled, graded and grassed.

Landscaping design shall be undertaken by a landscape architect registered to practice in the Province of Alberta. Landscaping, as approved, shall be installed during the first planting season following occupancy.



Minimum Landscaping Requirements

The minimum landscaping requirements are as follows:

- All front, side, and rear yards shall be landscaped. All landscaping plans must meet or exceed the City of Edmonton's minimum requirements.
- Additional landscape screening is required when development is adjacent to single family dwelling units.
- A parking area which is visible from an adjoining site or public adjacency shall have a screen planting. The location, length, density and height of such screen planting shall, in conjunction with a change in grade or other natural or man-made features, be sufficient to screen the view from public adjacencies or adjoining sites.
- Landscaping shall consist of a combination of trees, shrubs, and ground cover consisting of grass and approved dry landscape materials.
- An adequate variety of plants should be used in planting beds to achieve diversity, while large planting beds with an abundance of the same plant should be avoided.
- Appropriate mulch materials for planting beds include Pine Mulch, Shredded Wood Chip Mulch, Small Bark Chip Mulch, Medium Bark Chip Mulch, Large Bark Chip Mulch and Rock Mulch up to a maximum 3" diameter.



Fencing

All fencing installed within the site must be in a consistent style and colour as the community fencing (see below).

Colour: All fences must be stained with **Autumn Sand Solid Stain** which is available at Cloverdale Paints.

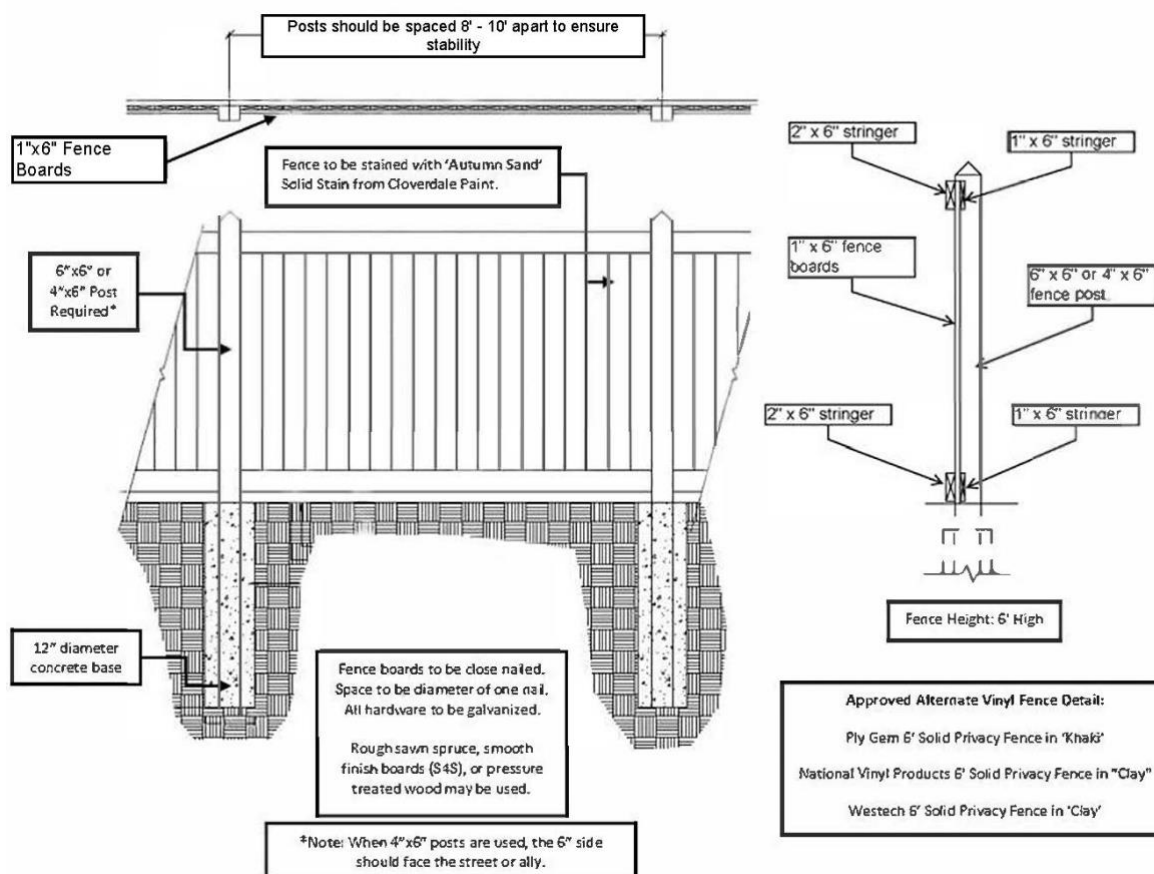
Material: Developer fences are constructed with Rough Spruce. We recommend that builders use 'All Weather Wood' which can be painted immediately after installation, but smooth cut boards or pressure treated wood is also acceptable.

Vinyl fencing may also be installed. Currently the following products may be used:

- Ply Gem 6' Solid Privacy Fence in "Khaki"
- Westech 6' Solid Privacy Fence in "Clay"
- National Vinyl Products 6' Solid Privacy Fence in "Clay"

The developer will install a coated chain link fence at the rear property for lots backing onto parks, trails and storm ponds. These fences will be constructed 6" within the rear property line as per the City of Edmonton guidelines

Multi-family sites backing onto a public amenity where the rear property fence is either wrought iron or chain link may incorporate the same type of fencing in areas abutting into the rear property fence. If additional privacy is desired, a wood screen fence may be installed, but within 8-10 feet of the property line, must be stepped down to match the height of the developer installed chain link or wrought iron fence.



Other

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Appendix A: Architectural Styles

The permitted architectural styles include the Modern Farmhouse, Rustic Contemporary, Heritage, and Prairie. Architectural detailing must be significant enough to clearly identify architectural style chosen.

The overall massing of all buildings should be designed to blend with the surrounding sites. Large, box-like structures should be avoided, and massing can be visually softened through articulation in wall plane, balconies, strategically placed rooflines, and expansive glazing. Exterior materials and colours will be appropriate to the architectural style chosen.

Modern Farmhouse

- Buildings will feature flat facades with steep front facing gables.
- A simple, yet dramatic colour palette will be combined with black windows.
- Building will incorporate a variety of texture by utilizing a mix of horizontal and vertical siding materials, metal accent roofs, wood siding, and rough wood accents.



Rustic Contemporary

- Buildings will feature striking roof lines composed of one or more intersecting shed roofs with enhanced fascia widths.
- Black, oversized windows will dominate the façade and are typically uncluttered by window grilles.
- Building will be clad in mid-dark earth tones and should incorporate wood siding, wood accents, and stone.
- Rough wood accents are well suited and should be incorporated.



Heritage

- Roof lines will incorporate front facing gables. Dormer roofs are also well suited.
- Wide overhangs supported by brackets are well suited.
- Facades will include a combination of horizontal siding, shakes, panel board detailing, and stone.
- Buildings will be characterized by the charming application of traditional details which evoke a sense of nostalgia.



Prairie

- Buildings will incorporate a relatively flat or low slope roof structure with elongated roof over hangs.
- A strong sense of horizontal line will be established through overall massing, incorporation of balconies, application of materials, and rows of windows.
- Appropriate siding materials include horizontal siding, panel board, wood cladding, and brick or stone.
- Black windows are well suited.

